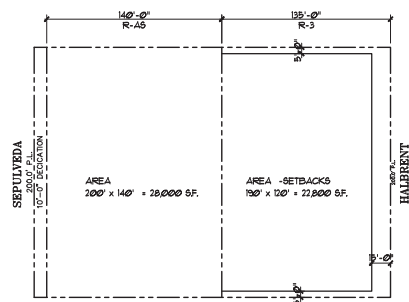


**FAR CALCULATION**

AREA RAS-4 PORTION = 28,000 S.F.  
 AREA R-3 PORTION = 22,800 S.F.  
 TOTAL AREA = 50,800 S.F.  
 50,800 S.F. x 3 = 152,400 S.F. MAXIMUM F.A.R.  
 INCENTIVE FOR F.A.R. = 1.35 x 152,400 S.F. = 205,740 S.F.  
 ACTUAL PROPOSED S.F. = 160,594 S.F.



**SITE PLAN**

SCALE 1"=10'

**SHEET INDEX**

SHEET #	DESCRIPTION
A1.0	SHEET INDEX, PROJECT INFO., SITE PLAN
A2.0	SITE PLAN
A2.1	SURVEY
A3.0	PI GARAGE PLAN
A3.1	1ST FLOOR PLAN
A3.2	2ND FLOOR PLAN
A3.3	3RD FLOOR PLAN
A3.4	4TH & 5TH FLOOR PLAN
A3.5	6TH FLOOR PLAN
A3.6	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS @ 1/8" SCALE
A4.1	EXTERIOR ELEVATIONS @ 1/8" SCALE
A4.2	BUILDING SECTIONS
A4.3	EXTERIOR COURTYARD ELEVATIONS @ 1/8" SCALE
A5.0	UNIT PLANS
A5.1	UNIT PLANS
A5.3	UNIT PLANS

**PROJECT INFORMATION**

**PROJECT DESCRIPTION**  
 NEW PRIVATELY FUNDED 191 UNIT APARTMENT PROJECT WITH 8,685 S.F. OF COMMERCIAL / RETAIL SPACE AT GROUND FLOOR.  
 6 STORIES TYPE III-A FULLY SPRINKLERED R-2 OCCUPANCY OVER ONE FLOOR TYPE I FULLY SPRINKLERED S-2 OCCUPANCY PARKING GARAGE & RETAIL OVER ONE FLOOR BELOW GRADE TYPE I FULLY SPRINKLERED S-2 OCCUPANCY PARKING GARAGE  
 NO GUEST STALLS REQUIRED  
 PROJECT UTILIZES AFFORDABLE HOUSING INCENTIVES PER SECTION 12.22A 25  
 ADDRESS 5700 SEPULVEDA BLVD, LOS ANGELES, CA  
 BUILDING HEIGHT PER ZONING = 54'-5" @ R3 PORTION & 65'-0" @ RAS PORTION  
 BUILDING HEIGHT PER BUILDING CODE = 65' PER TABLE 503 FOR TYPE III-A BUILDINGS.  
 ZONE: RAS & R-3  
 ADDRESS: 5700 SEPULVEDA BLVD, LOS ANGELES, CA  
 BY RIGHT DENSITY  
 LOT AREA = 50,800 S.F. BEFORE DEDICATION.  
 R3 PORTION = 22,800 S.F. / 800 = 28 UNITS  
 RAS PORTION = 28,000 S.F. / 400 = 70 UNITS  
 47 UNITS PER PREVIOUS PLANING APPROVAL x 1.35 DENSITY BONUS = 130.95 = 131 UNITS  
**LEGAL DESCRIPTION**  
 PORTION OF LOT 894 OF TRACT NO. M3, 14 PAGES 1 THRU 94.

**OPEN SPACE CALCULATIONS**

**OPEN SPACE REQUIRED**  
 21 UNITS WITH LESS THAN 3 HABITABLE ROOMS EACH @ 100 SF PER UNIT = 2,100 S.F.  
 106 UNITS EQUAL TO 3 HABITABLE ROOMS EACH @ 125 SF PER UNIT = 13,250 S.F.  
 4 UNITS GREATER THAN 3 HABITABLE ROOMS EACH @ 175 SF PER UNIT = 700 S.F.  
 TOTAL OPEN SPACE REQUIRED = 16,050 S.F.  
**OPEN SPACE PROVIDED**  
 PRIVATE OPEN SPACE = 191 UNITS @ 50 S.F. = 9,550 S.F.  
 COURTYARD "A" = 2,454 S.F.  
 COURTYARD "B" = 5,185 S.F.  
 ROOF DECK @ 6TH FLOOR = 548 S.F.  
 GYM @ 2ND FLOOR = 311 S.F.  
 TOTAL OPEN SPACE PROVIDED = 18,048 S.F.

**UNIT SUMMARY**

UNIT	DESCRIPTION	SIZE	NUMBER	PERCENTAGE	HABITABLE ROOMS	PRIVATE OPEN SPACE	PARKING req'd BASE ON SBA OPTION
A1	1 BEDROOM	620	17	19.7%	2	500 S.F.	17
A2	1 BEDROOM	625	5		2	250 S.F.	5
B1	2 BEDROOM	924	32	67.4%	3	1,600 S.F.	64
B2	2 BEDROOM	986	34		3	1,700 S.F.	68
B3	2 BEDROOM	900	4		3	200 S.F.	8
B4/B6	2 BEDROOM	978	4		3	500 S.F.	16
B5	2 BEDROOM	957	3		3	150 S.F.	6
C / C REV.	2 BEDROOM	988	6		3	300 S.F.	12
D	2 BEDROOM	1,004	1		3	50 S.F.	2
E	1 BEDROOM	717	3	2.5%	2	150 S.F.	3
F	2 BEDROOM	911	4	6.8%	3	150 S.F.	8
G / G REV.	2 BEDROOM	921	5		3	200 S.F.	10
H / H REV.	3 BEDROOM	1,274	2	3.0%	4	100 S.F.	4
J	3 BEDROOM	1,218	1		4	100 S.F.	2
K	3 BEDROOM	1,212	1		4	100 S.F.	2
L	2 BEDROOM	924	4	5.0%	3	200 S.F.	8
TOTALS			191			6,550 S.F.	237

**PARKING SUMMARY**

FLOOR	STANDARD STALLS	HANDICAPPED STALLS	COMPACT DIRECT	COMPACT TANDEM	TOTAL STALLS
P-1 PARKING PLAN	101	3	2	66	172
GROUND FLOOR PLAN	72	4	2	26	104
TOTALS	173	7	4	92	276

**PARKING REQUIRED - BASE ON SBA OPTION 1**  
 RETAIL = 32 STALLS (16.621 S.F. / 250)  
 RESIDENTIAL = 237 STALLS  
 TOTAL REQ. = 272 STALLS  
**HIC STALLS REQUIRED**  
 237 STALLS x 2% = 5 HIC STALLS (1 VAN)  
 55 STALLS FOR RETAIL x 5% = 1.65 = 2 HIC STALLS  
 TOTAL HIC STALLS REQ. = 7 STALLS  
**BICYCLE PARKING REQUIRED**  
 191 UNITS x 1 EA. = 191 BIKE RACKS LONG TERM  
 191 UNIT x 10% = 19 BIKE RACKS SHORT TERM  
 8,269 / 1,000 = 8.269 BIKE RACKS COMMERCIAL  
 TOTAL BIKE RACKS REQ. = 152.2 STALLS  
**BICYCLE PARKING PROVIDED**  
 LEVEL P-1 = 58 BIKE RACKS  
 GROUND FLOOR - LONG TERM = 81 BIKE RACKS  
 GROUND FLOOR - SHORT TERM = 19 BIKE RACKS  
 TOTAL BIKE RACKS PROVIDED = 154 STALLS

**AREA SUMMARY**

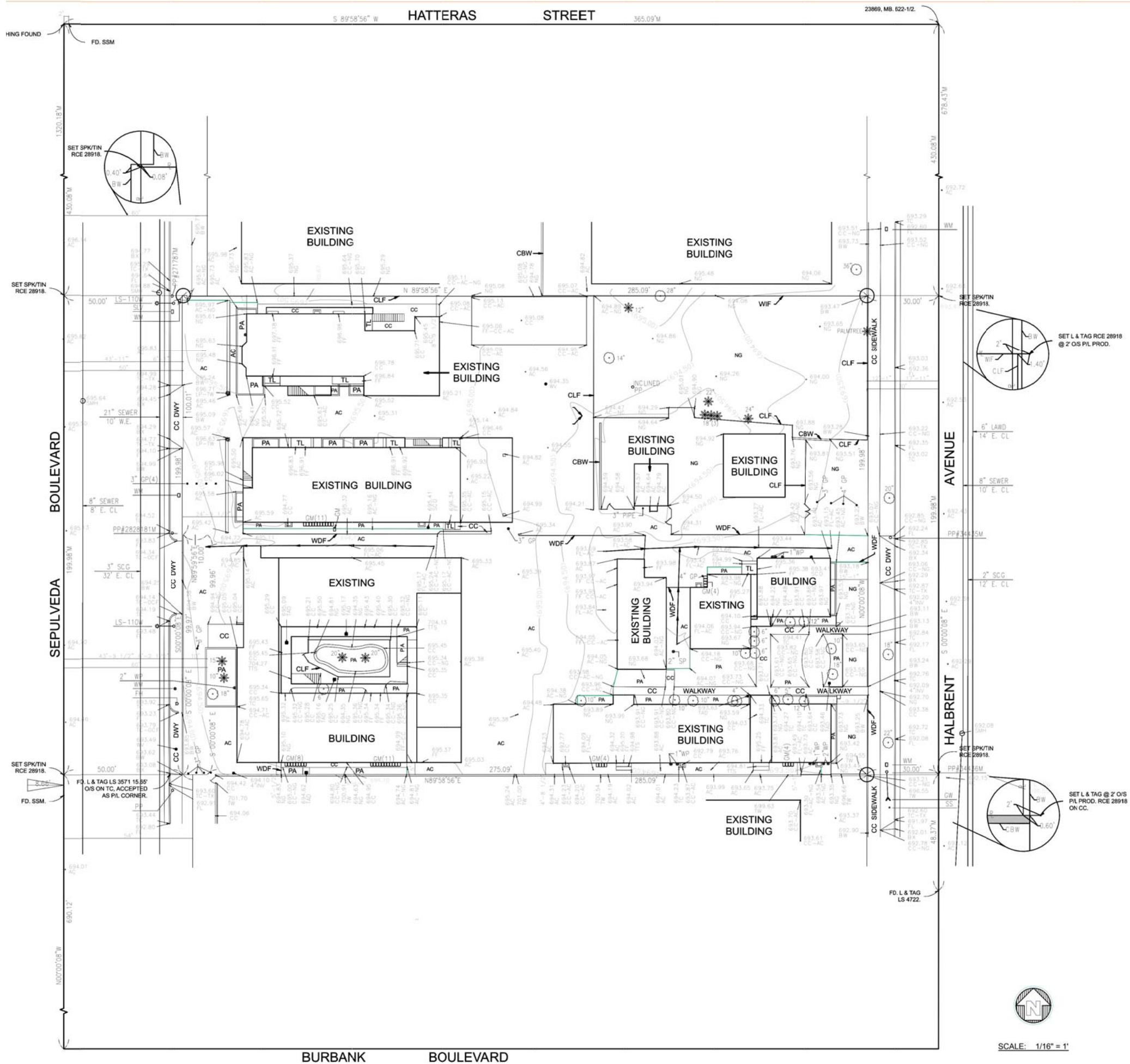
FLOOR	TYPE I PARKING AREA	TYPE I RETAIL	TYPE I LOBBY/LEASING	TYPE III RESIDENTIAL	TOTAL
LEVEL P-1	47,355 S.F.				47,355 S.F.
GROUND FLOOR	34,718 S.F.	8,621 S.F.	1,784 S.F.		45,123 S.F.
2ND FLOOR				33,423 S.F.	33,423 S.F.
3RD FLOOR				34,431 S.F.	34,431 S.F.
4TH FLOOR				31,623 S.F.	31,623 S.F.
5TH FLOOR				31,623 S.F.	31,623 S.F.
6TH FLOOR				18,584 S.F.	18,584 S.F.
TOTALS	82,133 S.F.	8,621 S.F.	1,784 S.F.	150,184 S.F.	

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 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

PROGRESS SET  
 Nov. 12, 2013

A1.0



**VICINITY MAP :**  
NOT TO SCALE



**LEGEND :**

PROPERTY LINE	---	E OR
CENTER LINE	---	CL OR
CHAIN LINK FENCE	---	CLF OR
WROUGHT IRON FENCE	---	WIF OR
WOODEN FENCE	---	WDF OR
BUILDING OVERHANG	---	OH OR
EXISTING SEWER LINE	---	---
EXISTING WATER LINE	---	---
EXISTING GAS LINE	---	---
EXISTING CONTOUR ELEVATION	---	(100.00)
EXISTING GRADE ELEVATION	---	+ 100.00
ASPHALT CONCRETE	---	AC
CEMENT CONCRETE	---	CC
FINISH FLOOR	---	FF
TOP OF CURB	---	TC
TOP OF WALL	---	TW
WATER METER	---	WM
NATURAL GROUND	---	NG
CONCRETE BLOCK WALL	---	CBW
FLOWLINE	---	FL
DRIVEWAY	---	DWY
TOP OF DRIVEWAY "X"	---	TX
BACK OF SIDEWALK	---	BW
BOTTOM OF DRIVEWAY "X"	---	BX
BUILDING OVERHANG	---	OH
POWER POLE	---	PP
LIGHT POST	---	LP
INVERT	---	INV
WATER PIPE	---	WP
LIGHT STANDARD	---	LS
FIRE HYDRANT	---	FH
WATER VALVE	---	WV
STREET SIGN	---	SLV
STREET LIGHT VALVE	---	SLV
GAS METER	---	GM
TOP OF TOP STEP	---	TTS
TOP OF BOTTOM STEP	---	TBS
TOP OF LANDING	---	TL
SEWER MANHOLE	---	SMH
PLANTER'S AREA	---	PA
STANDING PIPE	---	SP
GUARD POST	---	GP

**BENCHMARK:**

L.A. CITY BENCHMARK NO. 07-00300  
ELEVATION = 696.24 (1975)

**DISCLAIMER:**

UTILITIES SHOWN HEREON ARE COMPILED FROM DATA OBTAINED FROM OTHERS AND BELIEVED TO BE CORRECT, BUT NO LIABILITY IS ASSUMED BY THE COMPANY AS TO THE ACCURACY OF SUCH DATA. P.A. ARCA ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR DAMAGES, COSTS, OR CLAIMS IF FACILITIES ARE ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT CORRECTLY IDENTIFIED ON THE PLANS OR ANY INFORMATION SUPPLIED IS NOT ACCURATE AND/OR COMPLETE. PLEASE CALL "UNDERGROUND SERVICE ALERT" BEFORE DIGGING. TEL: (800) 422-4133.

**LEGAL DESCRIPTION:**

PORTION OF LOT 339 OF TRACT NO. MB. 19 PAGES 1 THRU 34.

**BASIS OF BEARINGS:**

BEARINGS SHOWN HEREON ARE BASED ON THE BEARING 90°00'00" E OF THE CENTERLINE OF SEPULVEDA BOULEVARD AS SHOWN ON TRACT NO. 23869, MB. 622-1-2.

**INDEX**

DATE	3/27/2007
SCALE	AS SHOWN
DRAWN	C.R.A.
SURVEY CHECK	F.C.A.A.
CHECKED	P.A.A.
JOB NO.	AEI-07-0138R

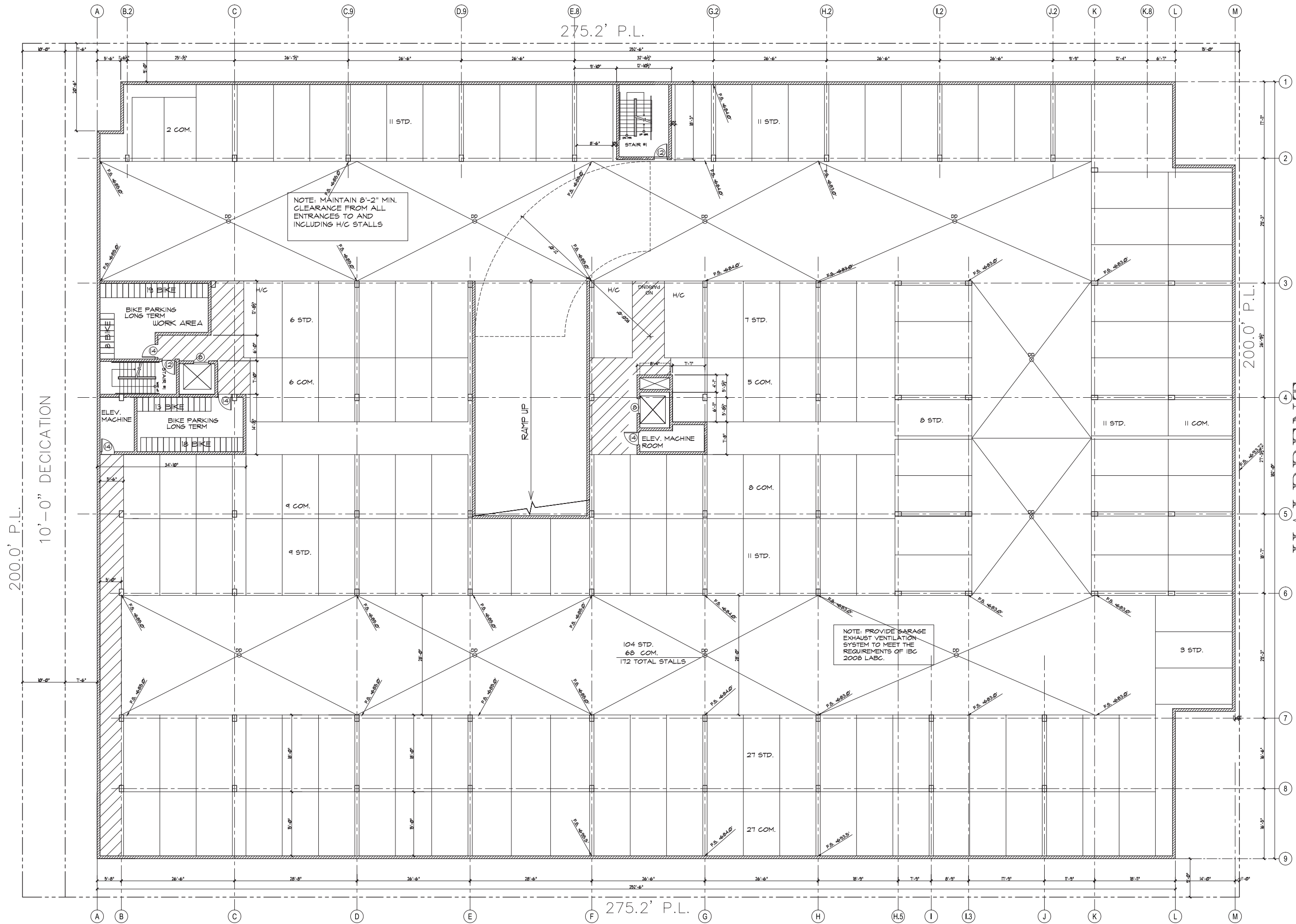
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 REVISIONS: [Table with 2 columns: NO., DESCRIPTION]  
 OWNER/CLIENT: SEPULVEDA SQUARE LLC  
 c/o BRUCE AREFI  
 101 N. ROBERTSON BLVD., STE. 203  
 BEVERLY HILLS, CA 90211  
 BOUNDARY & TOPOGRAPHIC SURVEY  
 5703 HALBRENT AVENUE  
 5700, 5714 & 5720 SEPULVEDA BLVD.  
 VAN NUYS, CA 91411  
 STAMP: [Professional Engineer Seal for P.A. ARCA, No. 12512, State of California]  
 DATE: [Blank]

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SEPULVEDA



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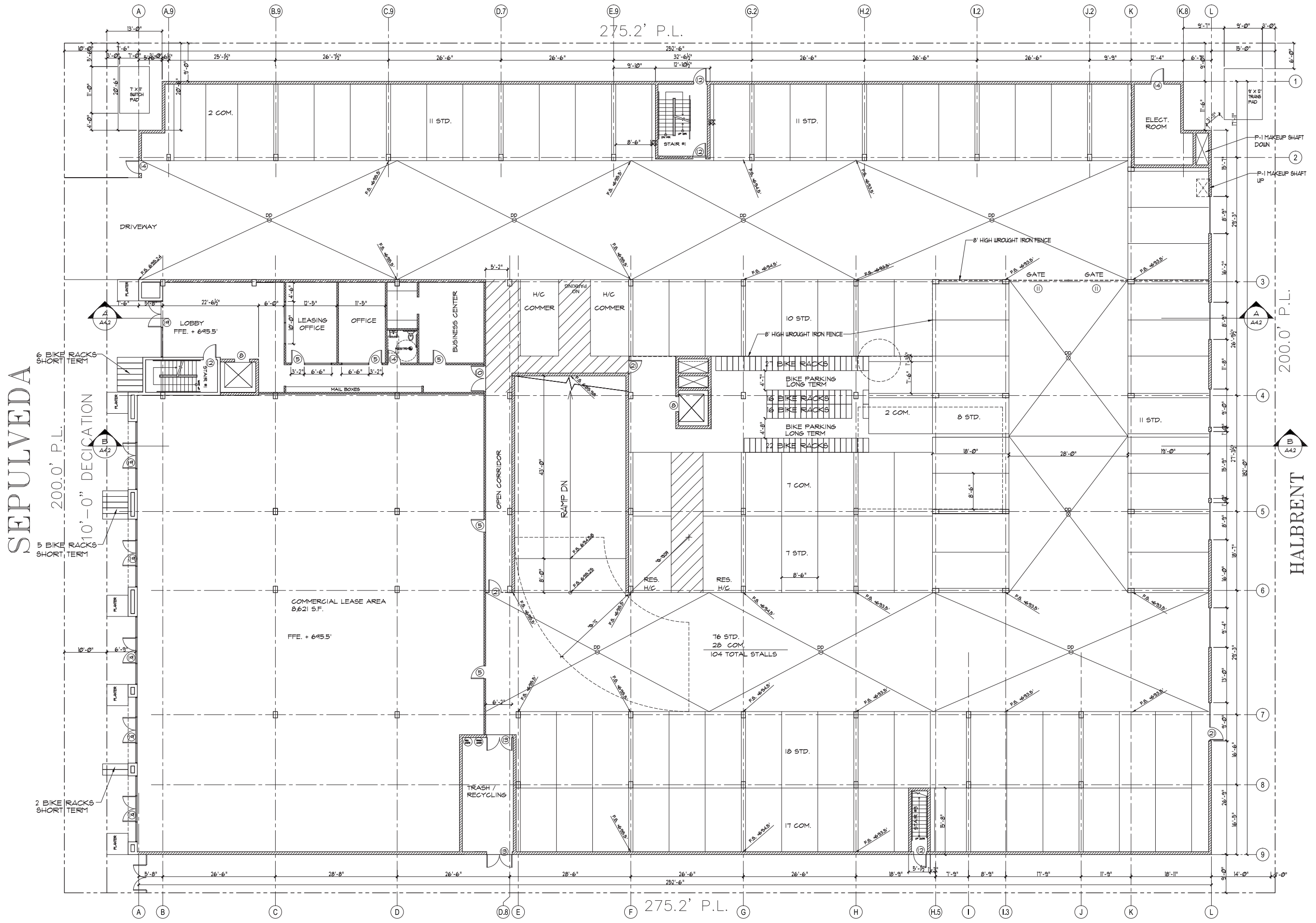
SEPULVEDA SQUARE APTS.  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

PROGRESS SET  
 Nov. 12, 2013

P1 PARKING PLAN  
 SCALE 1/8"=1'-0"



A3.0



SEPULVEDA  
 200.0' P.L.  
 10'-0" DECIMATION  
 9' BIKERACK SHORT TERM  
 9' BIKERACK SHORT TERM  
 9' BIKERACK SHORT TERM  
 2 BIKERACK SHORT TERM

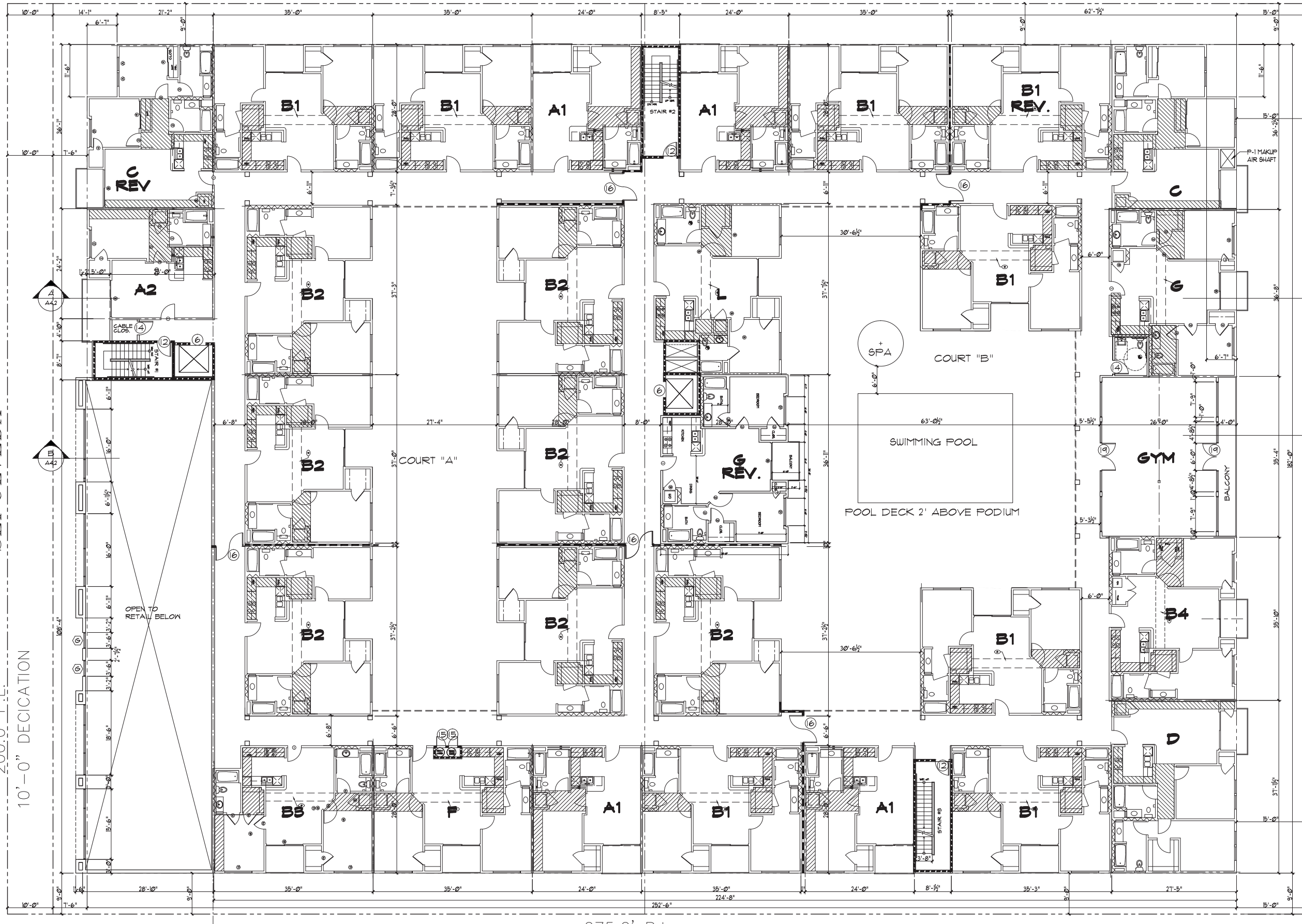
HALBRENT  
 200.0' P.L.  
 SEPULVEDA SQUARE APTS.  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

**GROUND FLOOR PLAN**  
 SCALE 1/8"=1'-0"



SEPULVEDA

200.0' P.L.  
10'-0" DECIMATION



275.2' P.L.

29 UNITS

200.0' P.L.

HALBRENT

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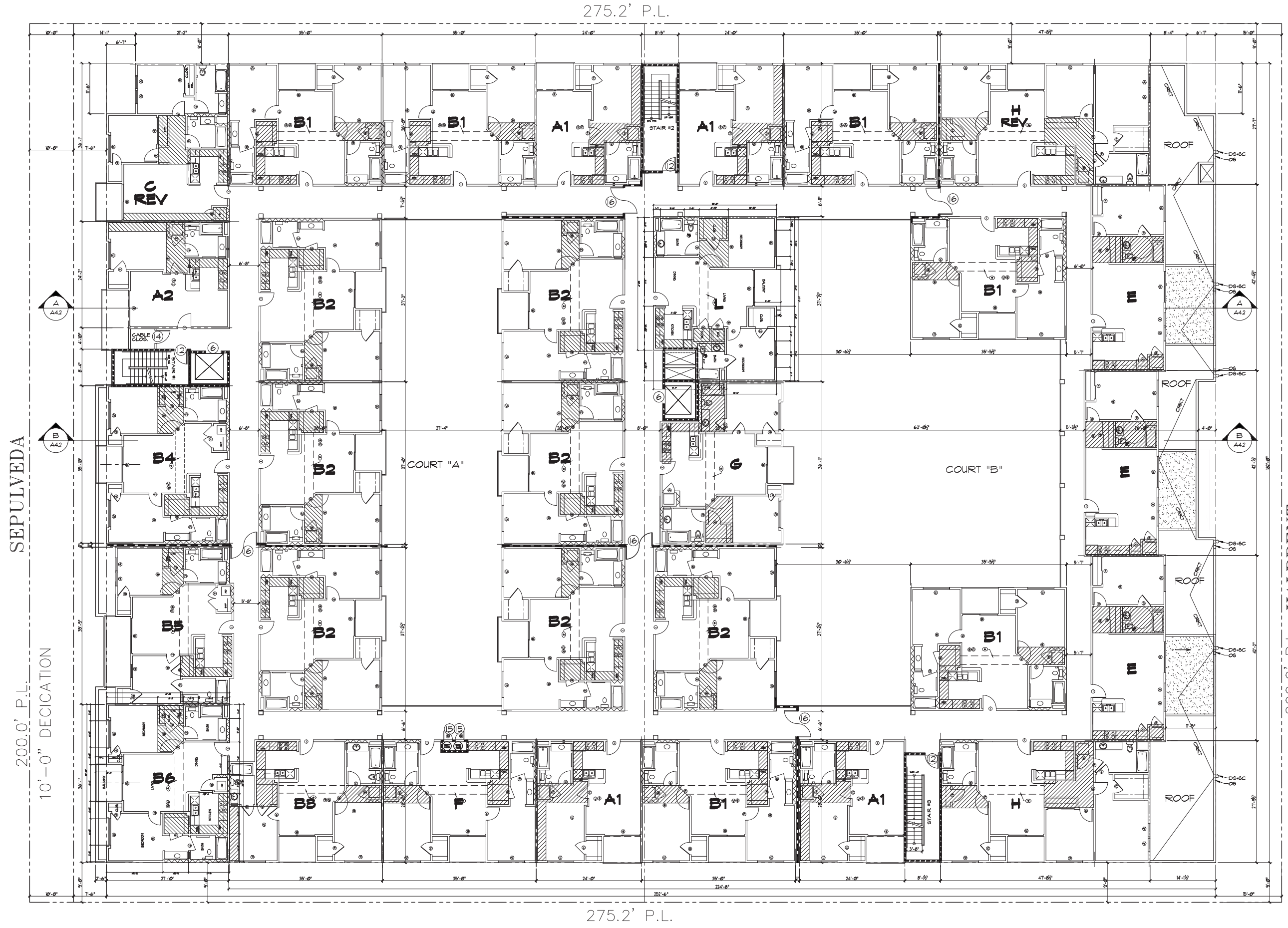
PROGRESS SET  
Nov. 12, 2013

2ND FLOOR PLAN  
SCALE 1/8"=1'-0"



A3.2





SEPULVEDA

200.0' P.L.  
 10'-0" DECIGATION

200.0' P.L. HALBRENT

275.2' P.L.

275.2' P.L.

31 UNITS

**SEPULVEDA SQUARE APTS.**  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

**BRD FLOOR PLAN**  
 SCALE 1/8"=1'-0"

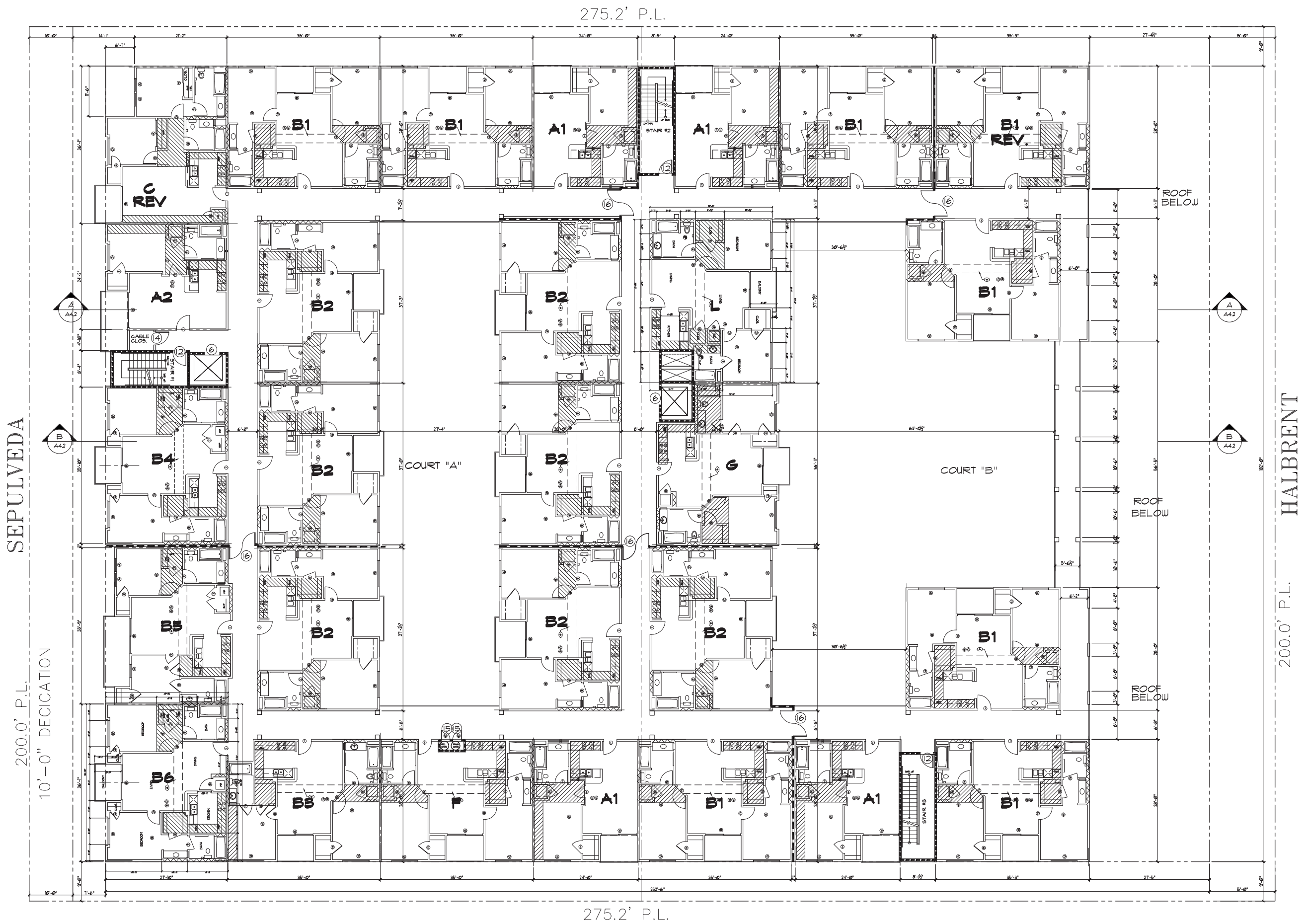


A33

PROGRESS SET  
 Nov. 12, 2013

**SEPULVEDA SQUARE APTS.**  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

PROGRESS SET  
 Nov. 12, 2013



SEPULVEDA

HALBRENT

28 UNITS

**4TH & 5TH FLOOR PLAN**  
 SCALE 1/8"=1'-0"



200.0' P.L.  
 10'-0" DECIMATION

200.0' P.L.

275.2' P.L.

275.2' P.L.

ROOF BELOW

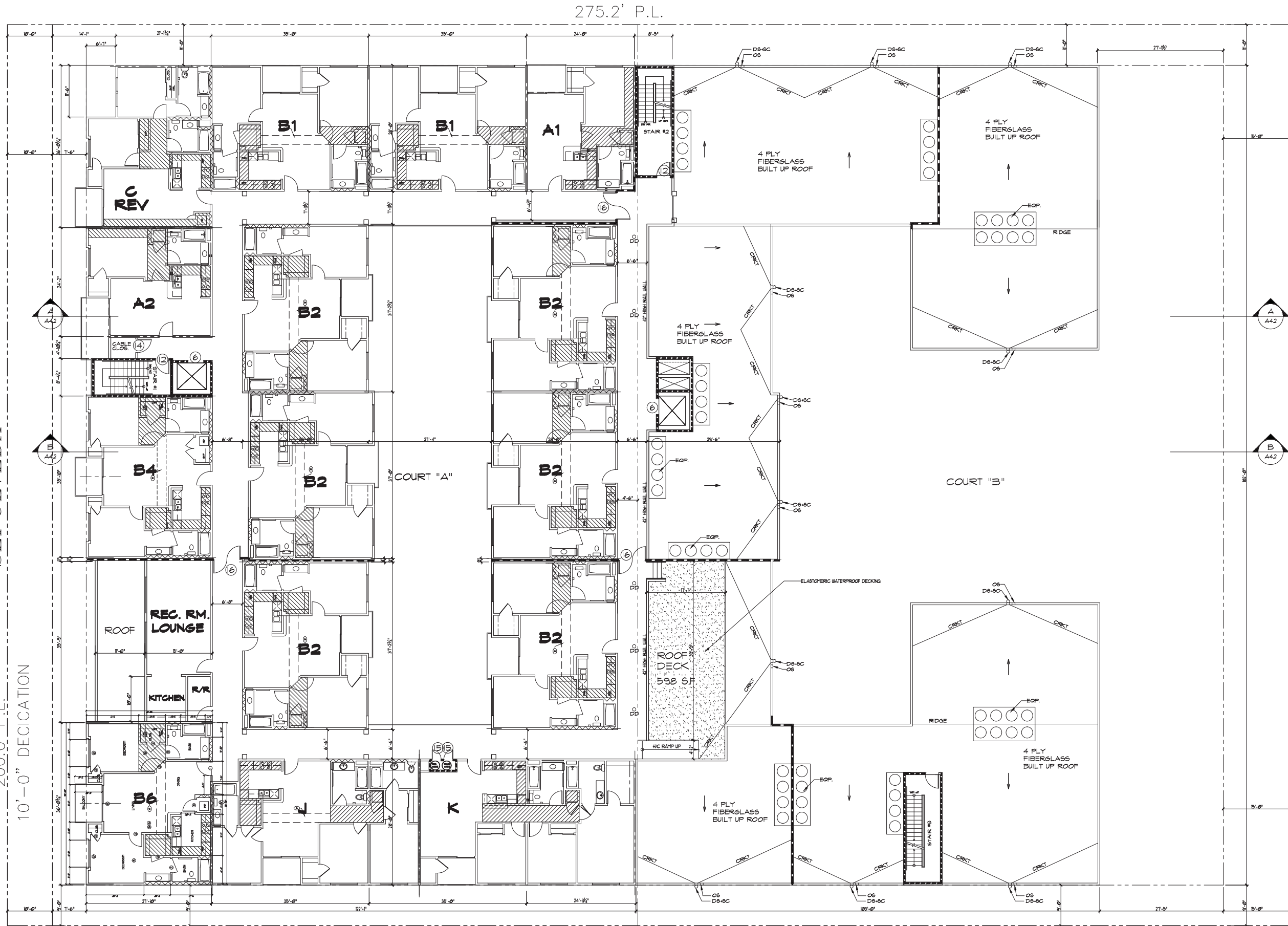
ROOF BELOW

ROOF BELOW



SEPULVEDA

200.0' P.L.  
10'-0" DECIMATION



275.2' P.L.

15 UNITS

HALBRENT

200.0' P.L.

6TH FLOOR / ROOF PLAN  
SCALE 1/8"=1'-0"



SEPULVEDA SQUARE APTS.  
5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

PROGRESS SET  
Nov. 12, 2013

A35

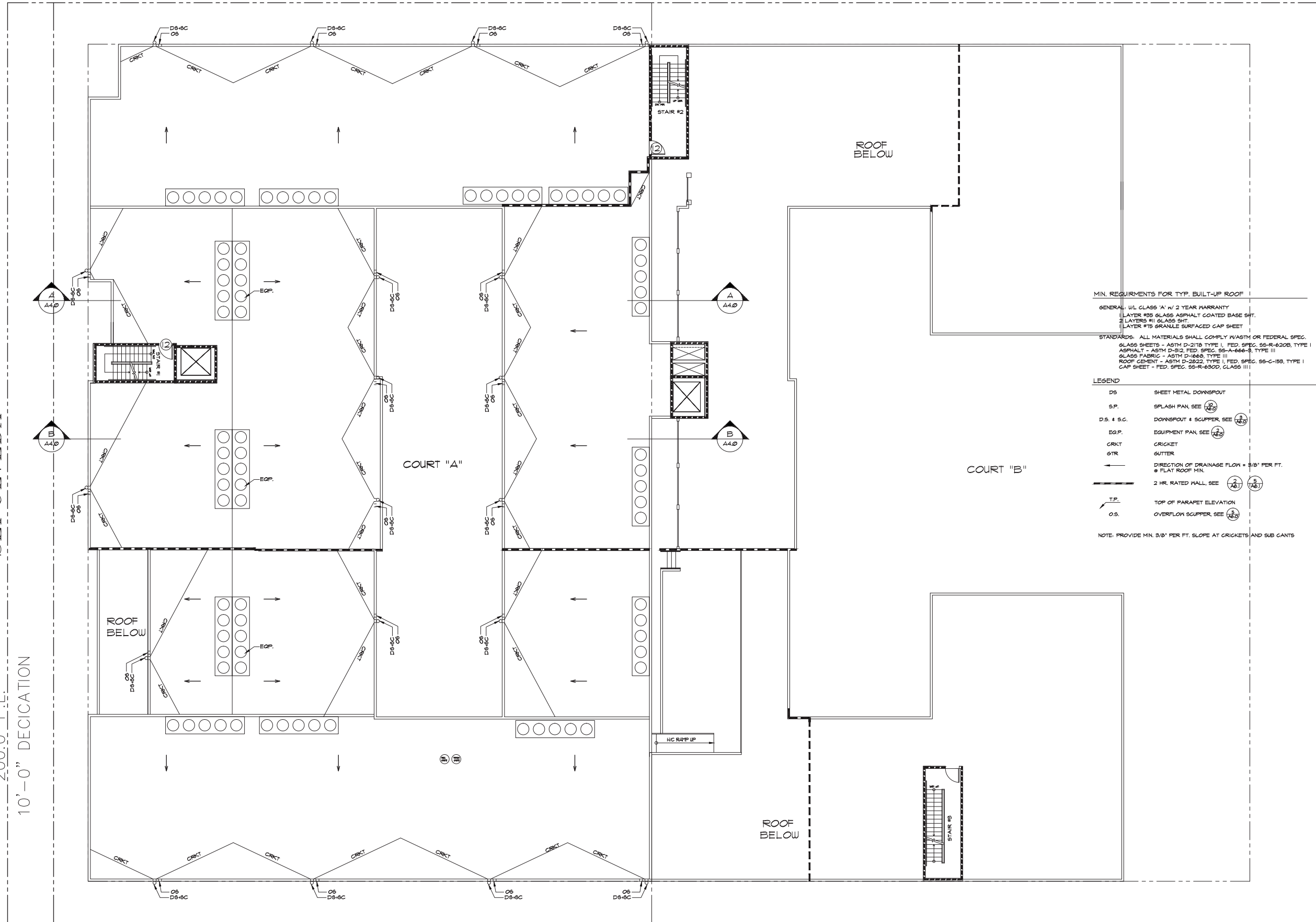
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SEPULVEDA

200.0' P.L.  
10'-0" DECIMATION

275.2' P.L.



275.2' P.L.

HALBRENT

200.0' P.L.

MIN. REQUIREMENTS FOR TYP. BUILT-UP ROOF

GENERAL: 1/4" CLASS 'A' w/ 2 YEAR WARRANTY  
 1 LAYER #35 GLASS ASPHALT COATED BASE SHT.  
 2 LAYERS #11 GLASS SHT.  
 1 LAYER #15 GRANULE SURFACED CAP SHEET

STANDARDS: ALL MATERIALS SHALL COMPLY w/ASTM OR FEDERAL SPEC.  
 GLASS SHEETS - ASTM D-2178 TYPE I, FED. SPEC. 55-R-620B, TYPE I  
 ASPHALT - ASTM D-512, FED. SPEC. 55-A-666-3, TYPE III  
 GLASS FABRIC - ASTM D-1668 TYPE III  
 ROOF CEMENT - ASTM D-2822, TYPE I, FED. SPEC. 55-C-153, TYPE I  
 CAP SHEET - FED. SPEC. 55-R-630D, CLASS III

LEGEND

DS SHEET METAL DOWNSPOUT  
 S.P. SPLASH PAN, SEE (A4.0)  
 D.S. & S.C. DOWNSPOUT & SCUPPER, SEE (A4.0)  
 EQP. EQUIPMENT PAN, SEE (A4.0)  
 CRKT CRICKET  
 GTR GUTTER  
 → DIRECTION OF DRAINAGE FLOW = 3/8" PER FT. @ FLAT ROOF MIN.  
 2 HR. RATED WALL, SEE (A4.0) (A4.1)  
 T.P. TOP OF PARAPET ELEVATION  
 O.S. OVERFLOW SCUPPER, SEE (A4.0)

NOTE: PROVIDE MIN. 3/8" PER FT. SLOPE AT CRICKETS AND SUB GANTS

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PROGRESS SET  
 Nov. 12, 2013

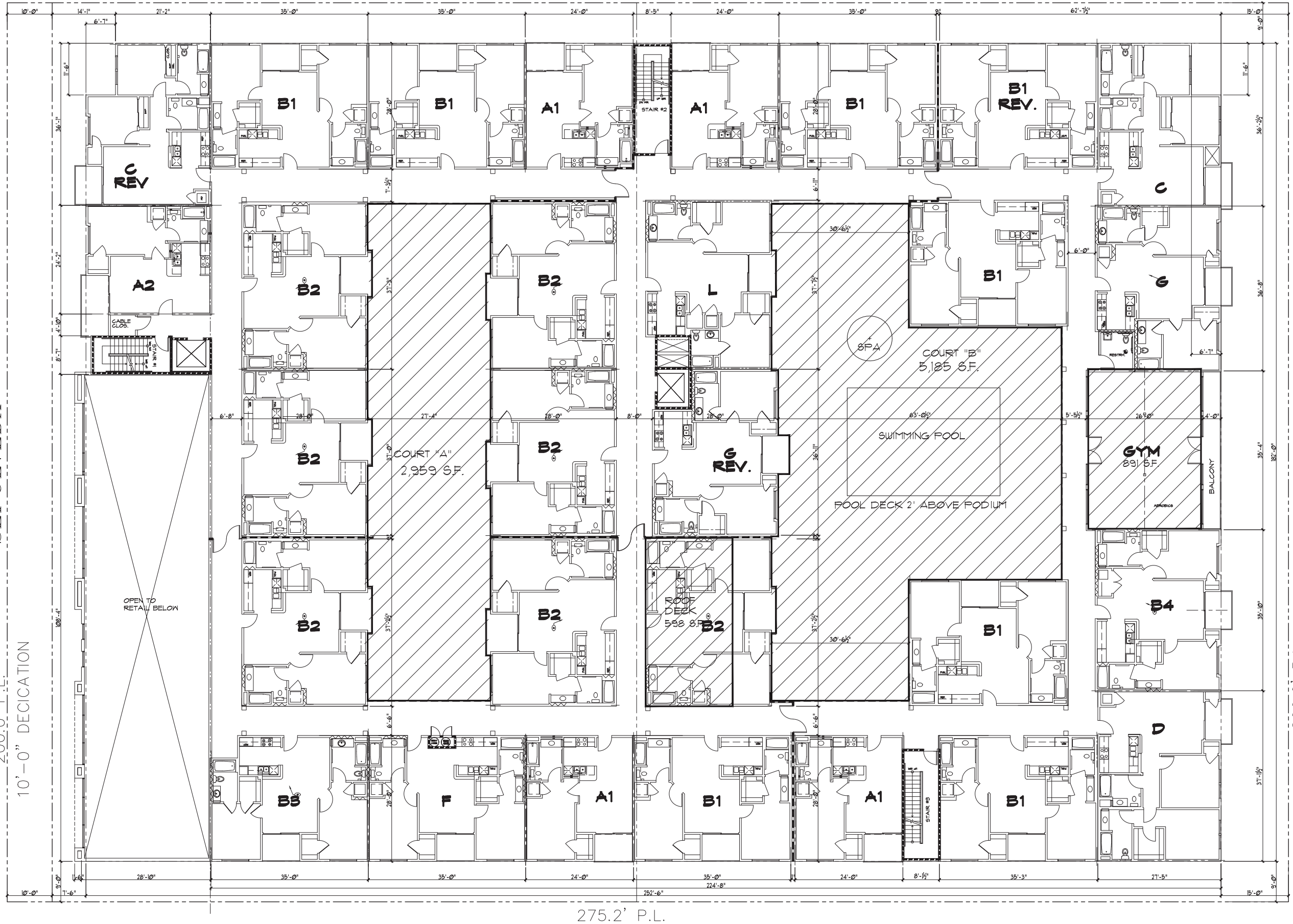
ROOF PLAN  
 SCALE 1/8" = 1'-0"



A3.6

SEPULVEDA

200.0' P.L.  
10'-0" DECIMATION



275.2' P.L.

HALBRENT

200.0' P.L.

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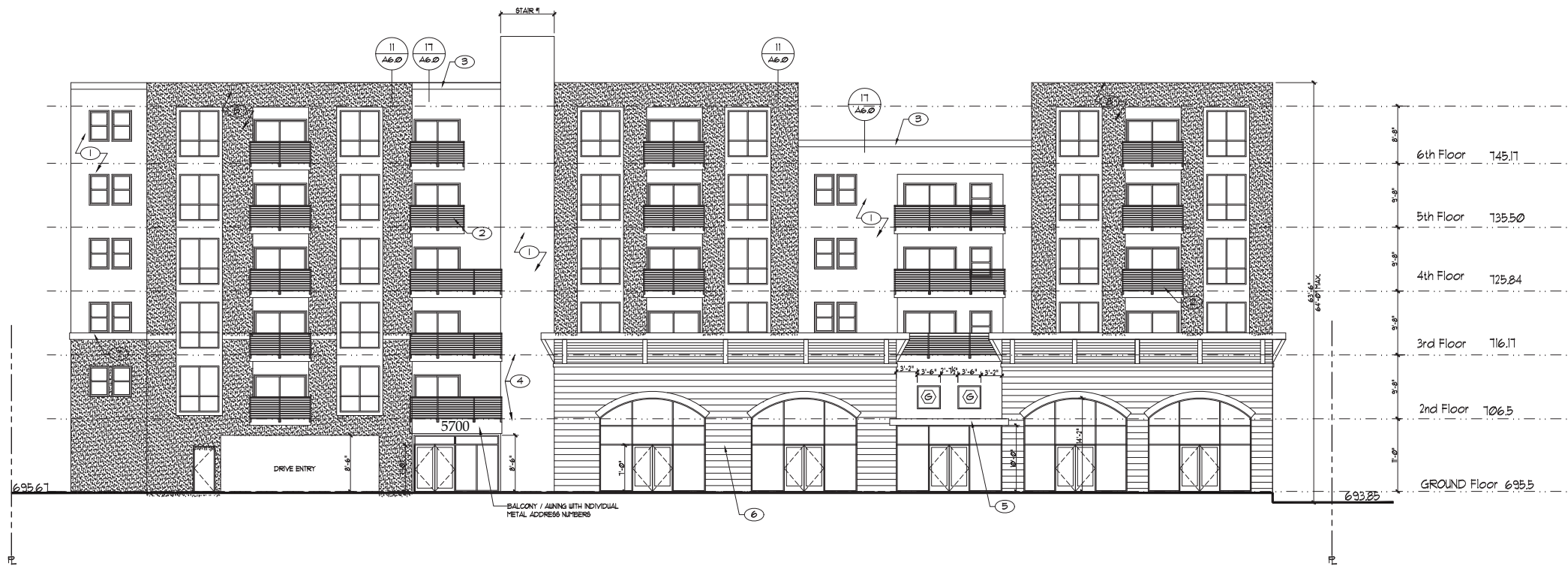
PROGRESS SET  
Nov. 12, 2013

OPEN SPACE TALLY  
SCALE 1/8"=1'-0"

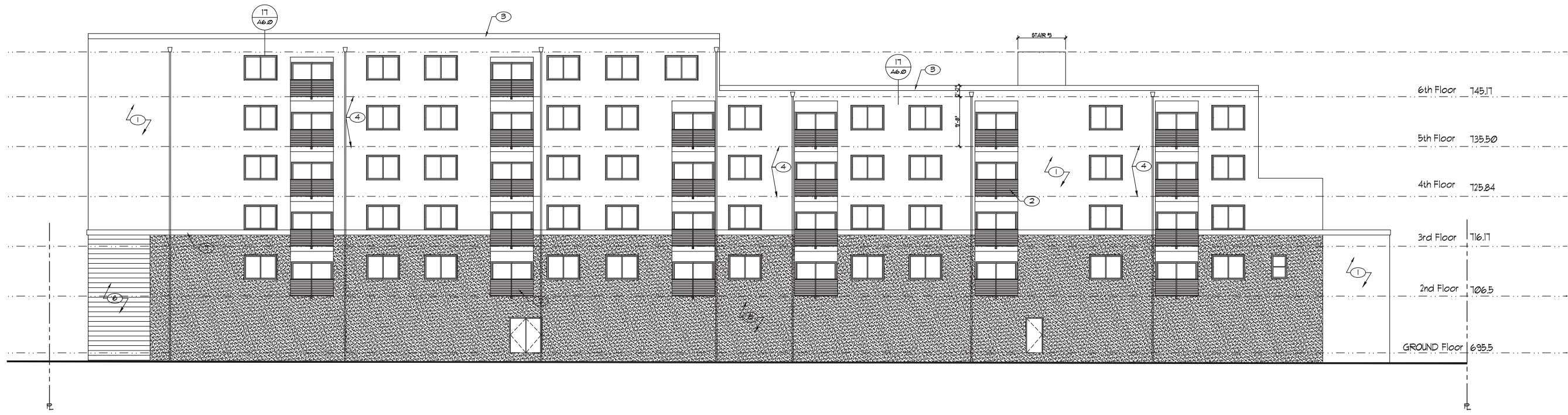


A3.7

**SEPULVEDA SQUARE APTS.**  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411



**WEST ELEVATION (SEPULVEDA)**  
 SCALE 1/8"=1'-0" **A**  
**A4.0**



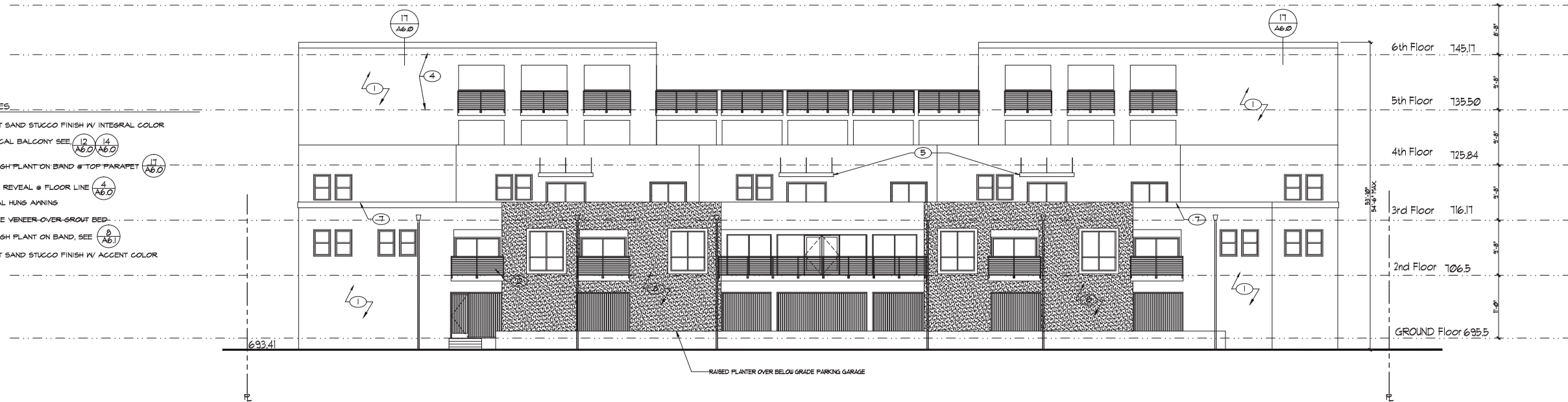
**SOUTH ELEVATION**  
 SCALE 1/8"=1'-0" **B**  
**A4.0**

- KEYNOTES**
- ① LIGHT SAND STUCCO FINISH IV/ INTEGRAL COLOR
  - ② TYPICAL BALCONY SEE (12, 14) (A6.0, A6.0)
  - ③ 12" HIGH PLANT ON BAND @ TOP PARAPET (17) (A6.0)
  - ④ TYP. REVEAL @ FLOOR LINE (4) (A6.0)
  - ⑤ METAL HUNG ANNING
  - ⑥ STONE VENEER OVER GROUT BED
  - ⑦ 12" HIGH PLANT ON BAND, SEE (8) (A6.1)
  - ⑧ LIGHT SAND STUCCO FINISH IV/ ACCENT COLOR



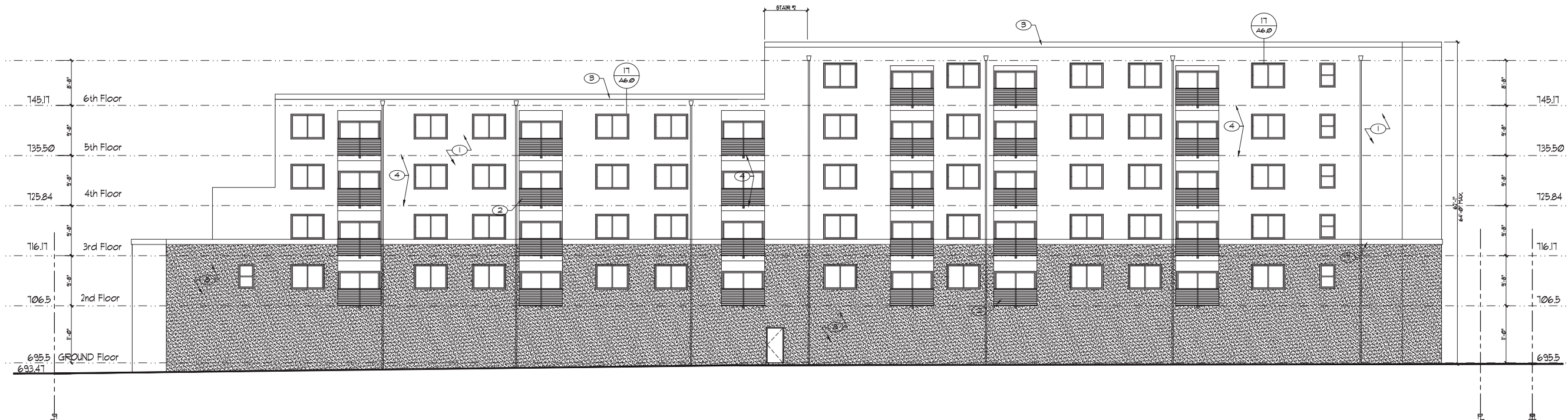
KEYNOTES

- ① LIGHT SAND STUCCO FINISH w/ INTEGRAL COLOR
- ② TYPICAL BALCONY SEE (12) (14) (A6.0) (A6.0)
- ③ 12" HIGH PLANT ON BAND @ TOP PARAPET (11) (A6.0)
- ④ TYP. REVEAL @ FLOOR LINE (4) (A6.0)
- ⑤ METAL HUNG AWNING
- ⑥ STONE VENEER OVER GROUT BED
- ⑦ 12" HIGH PLANT ON BAND, SEE (8) (A6.1)
- ⑧ LIGHT SAND STUCCO FINISH w/ ACCENT COLOR



**EAST ELEVATION (HALBRENT)**

SCALE 1/8"=1'-0"



**NORTH ELEVATION**

SCALE 1/8"=1'-0"

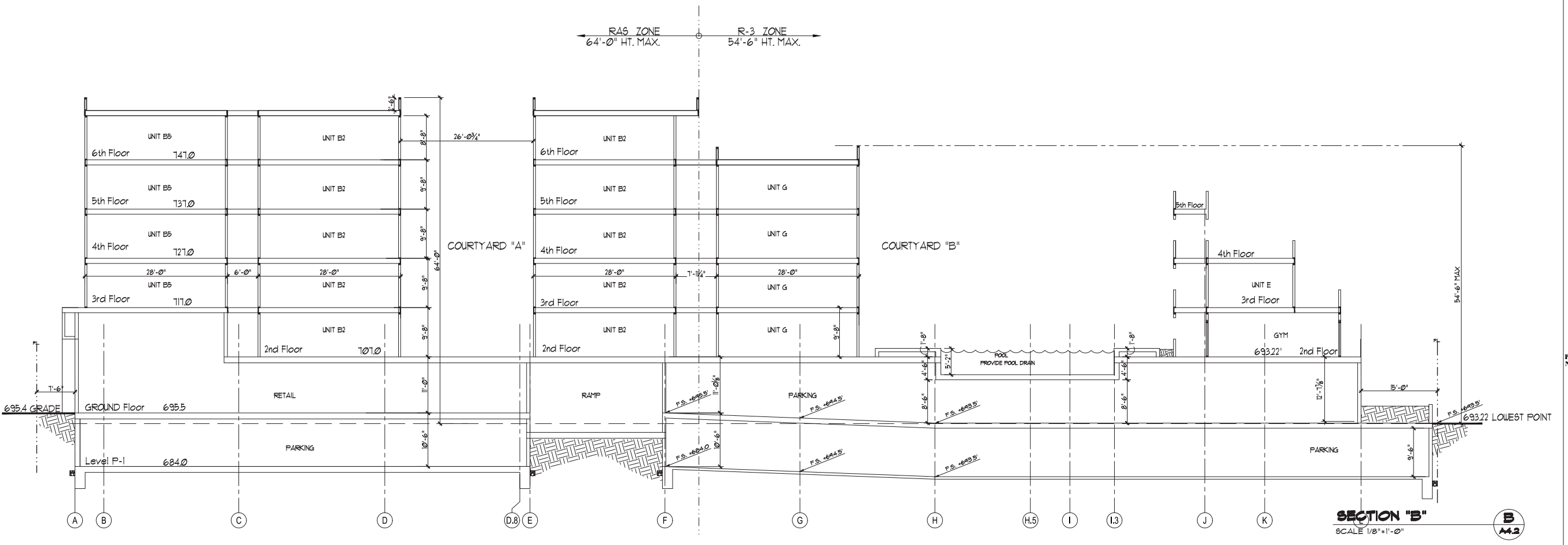
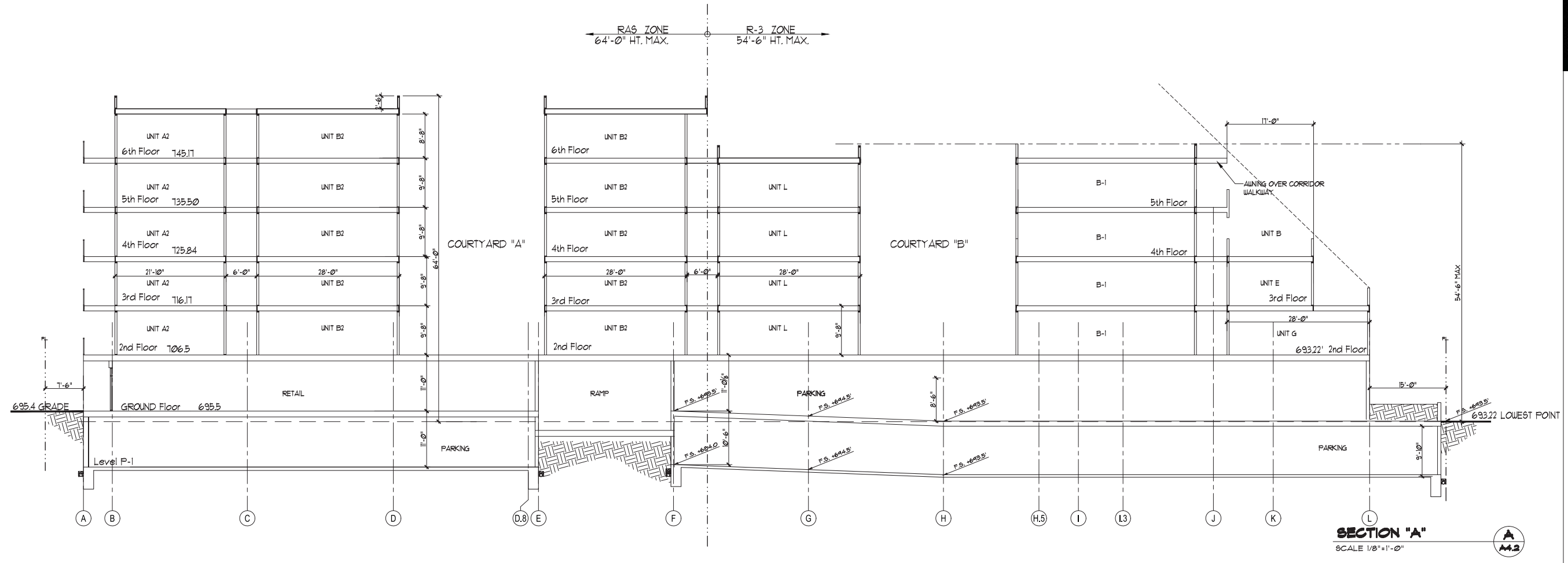


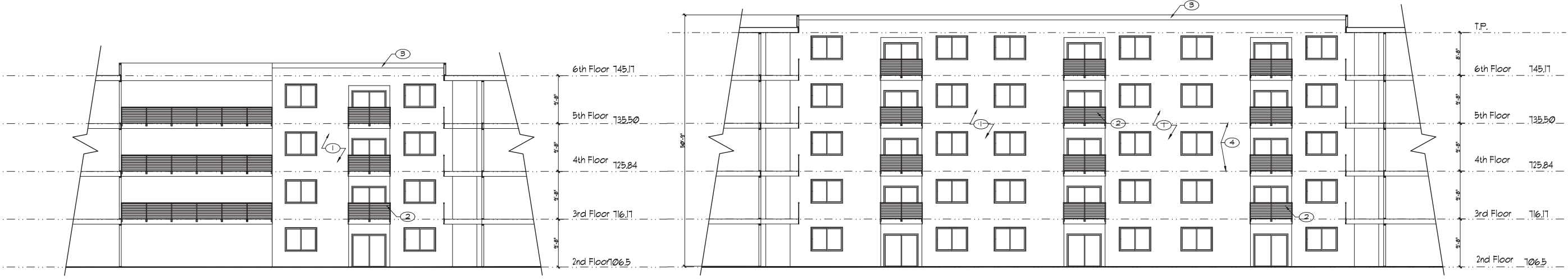
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Nov. 12, 2013

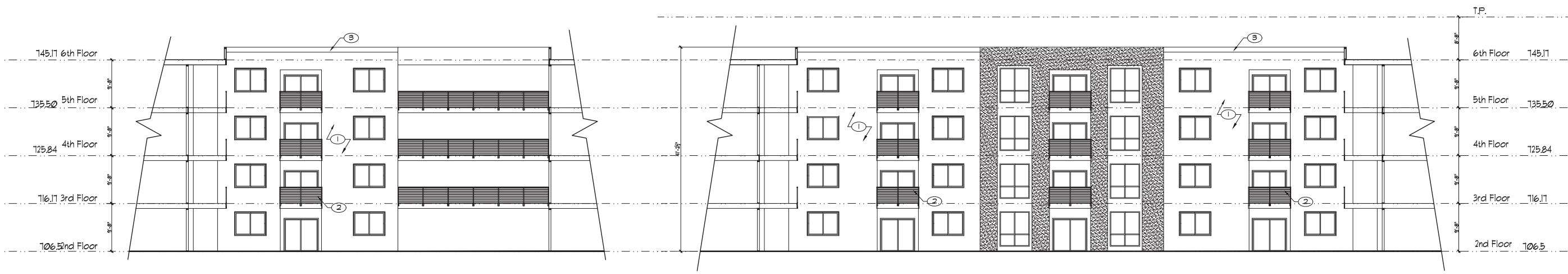
**SEPULVEDA SQUARE APTS.**  
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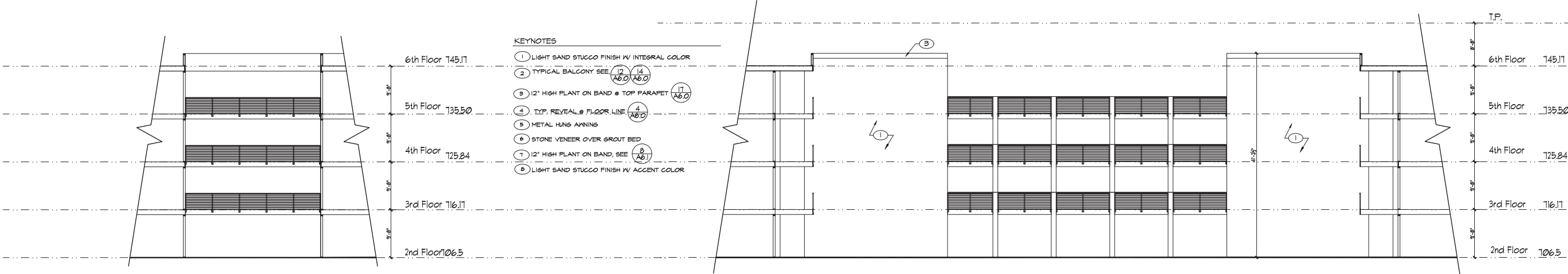
**NORTH ELEVATION - COURT "B"**  
 SCALE 1/8"=1'-0"  
 A4.3

**WEST & EAST ELEVATION - COURT "A"**  
 SCALE 1/8"=1'-0"  
 A4.3



**SOUTH ELEVATION - COURT "B"**  
 SCALE 1/8"=1'-0"  
 A4.3

**WEST ELEVATION - COURT "B"**  
 SCALE 1/8"=1'-0"  
 A4.3



- KEYNOTES**
- 1 LIGHT SAND STUCCO FINISH W/ INTEGRAL COLOR
  - 2 TYPICAL BALCONY SEE (12) (14) (17) (A6.0) (A6.0)
  - 3 12" HIGH PLANT ON BAND @ TOP PARAPET (17) (A6.0)
  - 4 TYP. REVEAL @ FLOOR LINE (4) (A6.0)
  - 5 METAL HUNG AWNING
  - 6 STONE VENEER OVER GROUT BED
  - 7 12" HIGH PLANT ON BAND, SEE (9) (A6.1)
  - 8 LIGHT SAND STUCCO FINISH W/ ACCENT COLOR

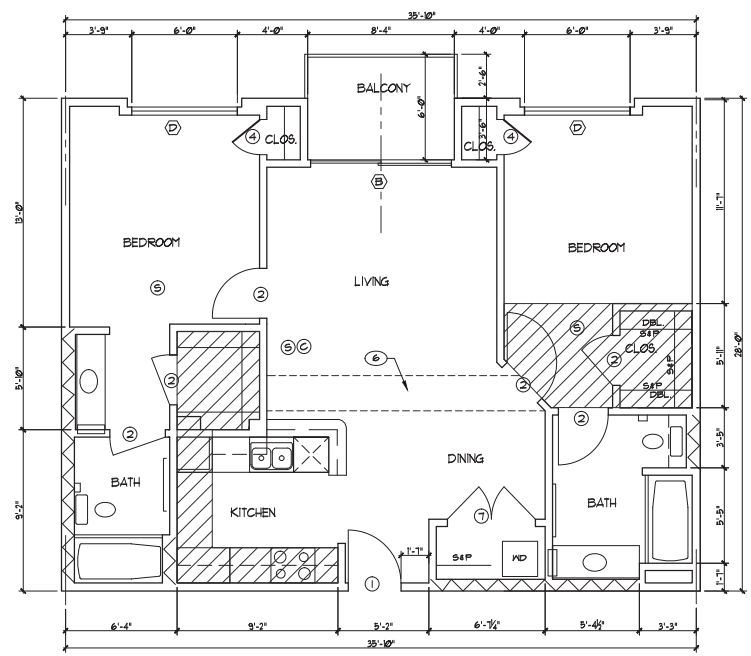
**NORTH & SOUTH ELEVATION - COURT "A"**  
 SCALE 1/8"=1'-0"  
 A4.3

**EAST ELEVATION - COURT "B"**  
 SCALE 1/8"=1'-0"  
 A4.3

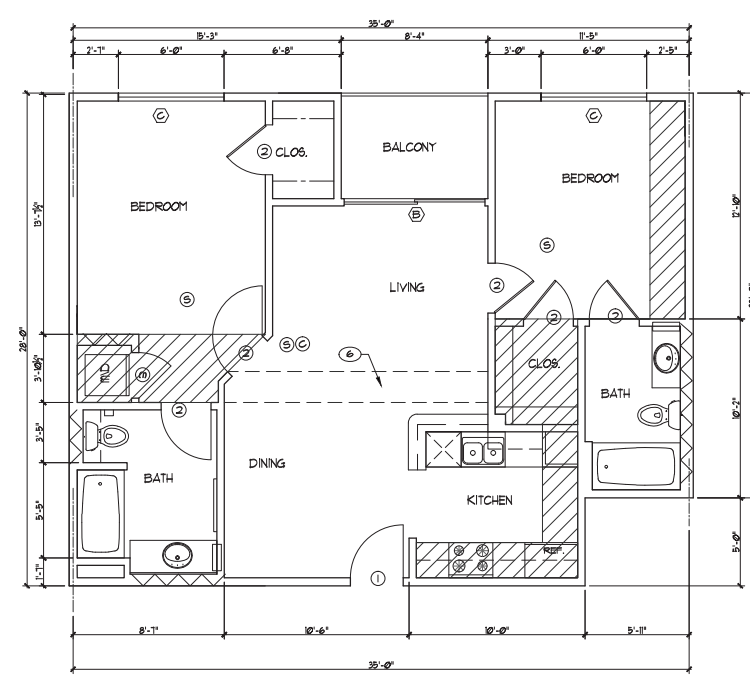


**SEPULVEDA SQUARE APTS.**  
 5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411

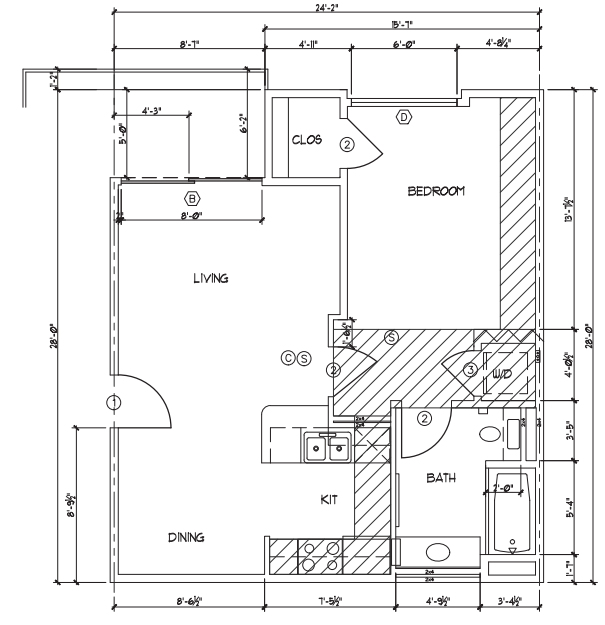
PROGRESS SET  
 Nov. 12, 2013



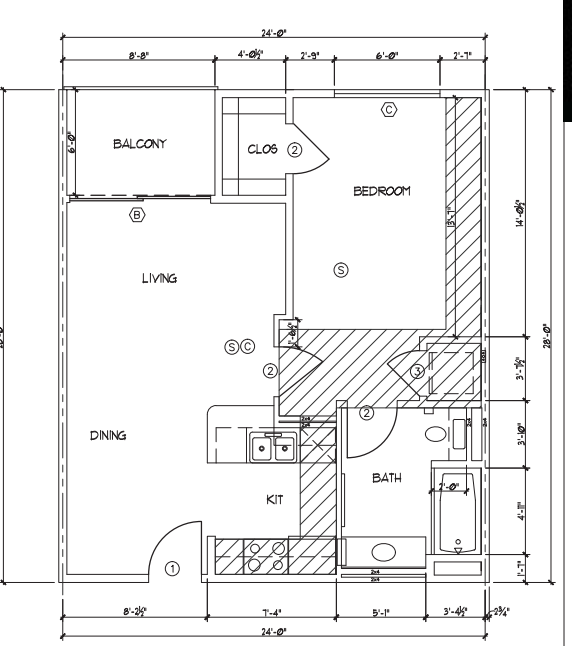
**UNIT B4 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 918 SF.



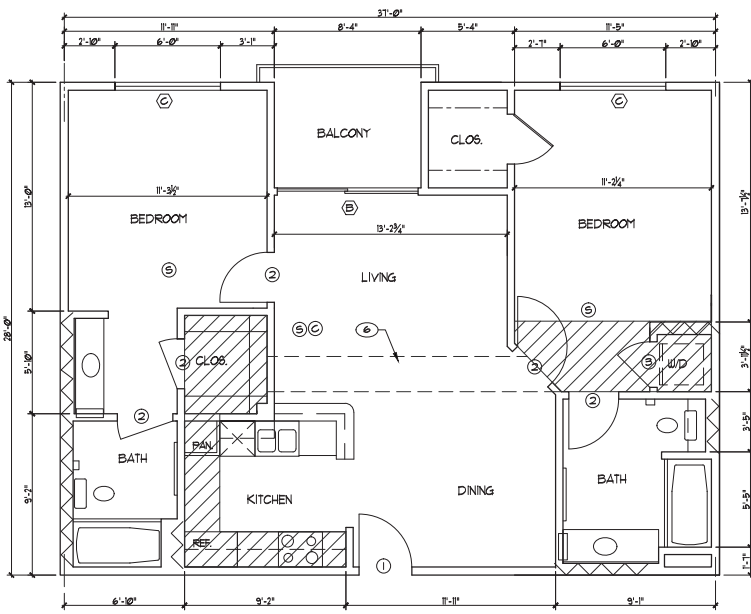
**UNIT B5 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 900 SF.



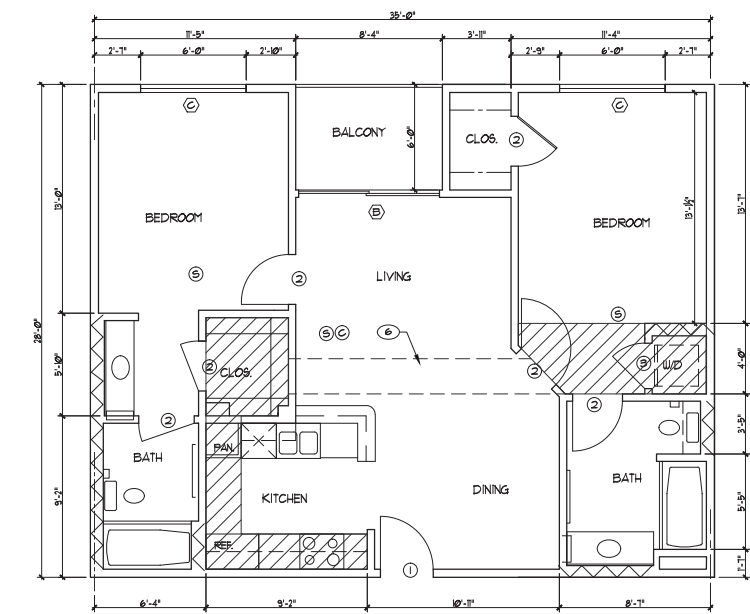
**UNIT A2 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 625 SF.



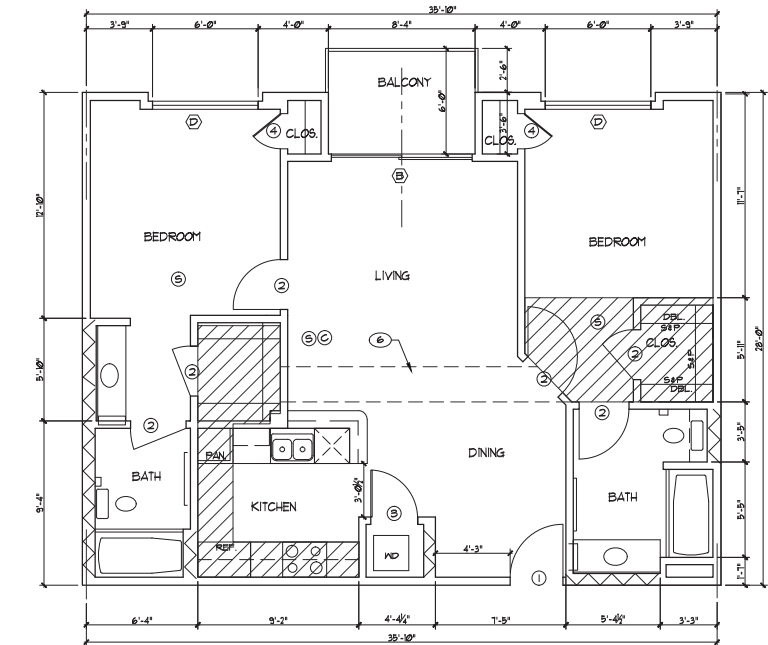
**UNIT A1 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 620 SF.



**UNIT B2 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 986 SF.

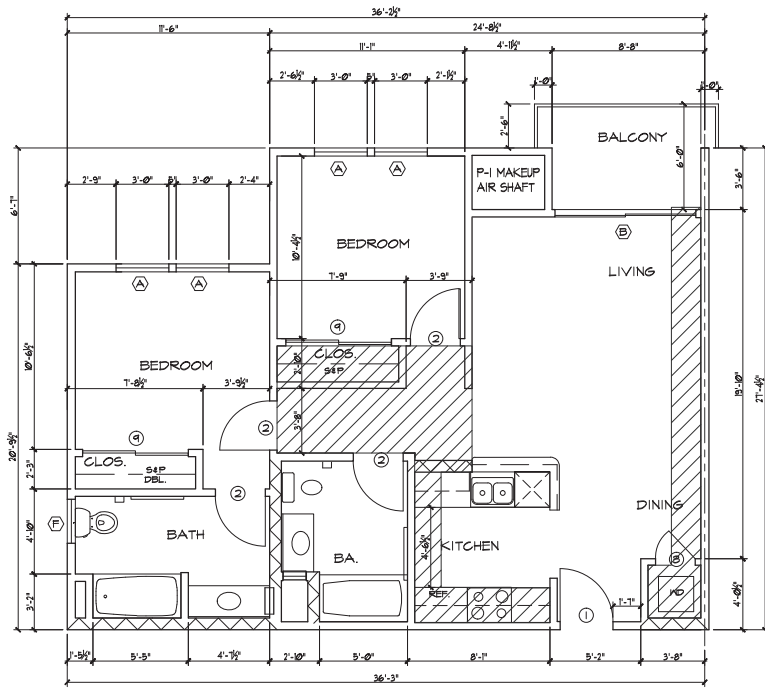


**UNIT B1 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 929 SF.

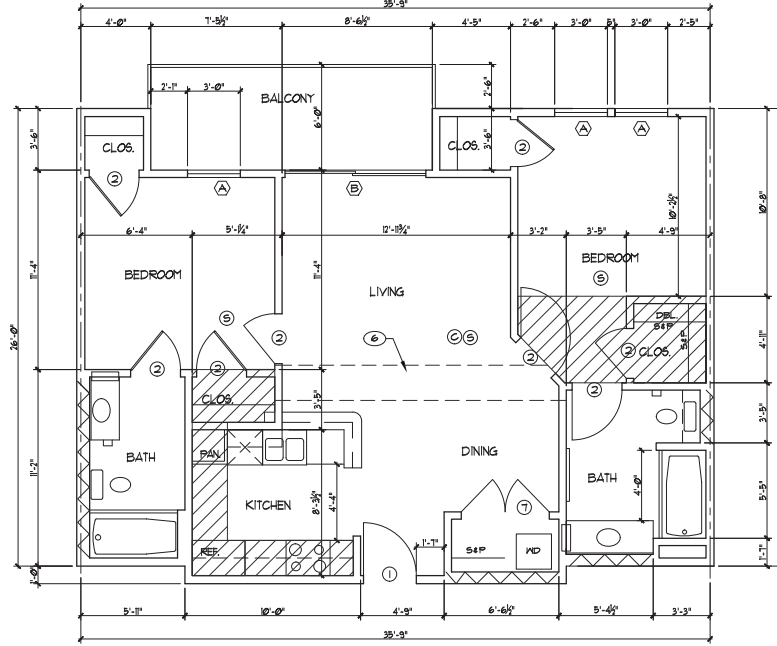


**UNIT B6 FLOOR PLAN**  
 SCALE 1/4"=1'-0" 918 SF.

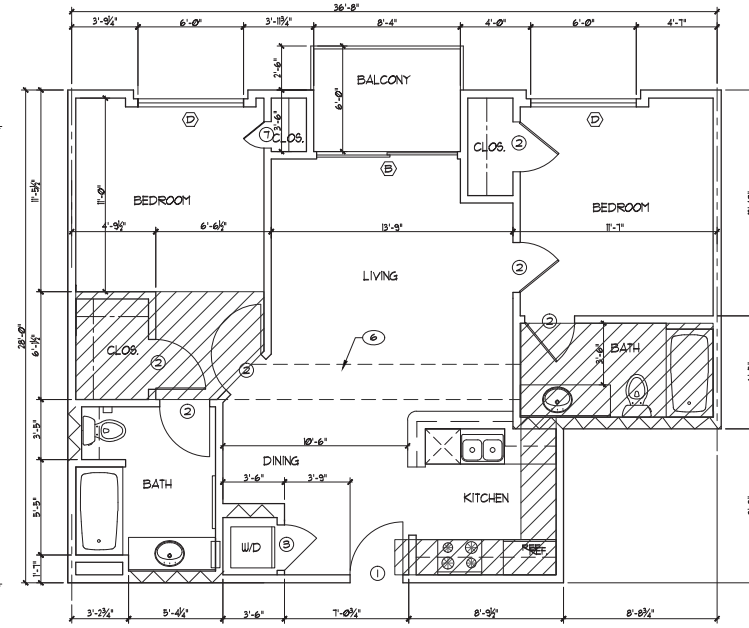
- KEYNOTES**
- 1 BUILT-IN DISHWASHER (ENERGY STAR RATED)
  - 2 TYPICAL KITCHEN BASE CABINET & OVERHEAD CABINETS PER (11/A6.1) PROVIDE GRANITE COUTERTOPS
  - 3 30" WIDE DOUBLE BOWL SINK (PER FLOW RATES SHOWN ON GRN 16 / A1.8) W/ GARBAGE DISPOSAL (ENERGY STAR RATED)
  - 4 GAS RANGE/OVEN (ENERGY STAR RATED) WITH EXTERIOR VENTING EXHAUST FAN AND MICROWAVE ABOVE
  - 5 PROVIDE 2 - 15" WIDE FULL OUT BREAD BOARDS (ONE @ EA. SIDE STOVE)
  - 6 DUCTS TO RUN IN CEILING BETWEEN 2 FLUSH BEAMS
  - 7 FACE FRAMED CABINETRY DOORS WITH 5 BUILT-IN SHELVES
  - 8 TOILET (PER FLOW RATES SHOWN ON GRN 16 / A1.8) W/ BUILT-IN LINEN OVER HEAD (BOTTOM @ 60 AFF)
  - 9 BATHTUB (PER FLOW RATES SHOWN ON GRN 16 / A1.8) W/ SHOWER CURTAIN ROD; PROVIDE H/C BLOCKING PER NOTES ON INTERIOR ELEVATIONS
  - 10 16" X 20" RECESSED MEDICINE CABINET W/ MIRROR DOOR
  - 11 PLATE GLASS MIRROR-FULL HEIGHT, FOR WIDTH SEE INTERIOR ELEVATIONS
  - 12 TOILET PAPER HOLDER
  - 13 TOWEL BAR
  - 14 DRYER EXHAUST & BATHROOM EXHAUST TO RUN IN JOIST BAY OR SOFFIT AS NECESSARY. PROVIDE 5" DIA. DRYER EXHAUST WITH ACCESS PANEL
  - 15 5'-0" DIAMETER TURNING CIRCLE, DOOR SWING CAN INTRUDE NO MORE THAN 12"
  - 16 PROVIDE BLOCKING FOR END MOUNTED GRAB BAR PER (17/A6.1)
  - 17 LAVATORY, (PER FLOW RATES SHOWN ON GRN 16 / A1.8) SEE DETAIL (14/A6.1)
  - 18 PONY WALL, SEE DETAIL (6/A6.1) ALL KITCHEN PONY WALLS MUST BE W/ SERVE OVER CTR.
  - 19 PROVIDE BLOCKING WITH IN WALL FOR INSTALLATION OF H/C GRAB BARS PER DETAIL (17/A6.1)
- LEGEND**
- (Hatched pattern) DOUBLE 2x4 WALL
  - (Circle with S) HARDWIRED SMOKE DETECTOR @ CEILING ABOVE ALARM SHALL BE AUDIBLE IN ALL SLEEPING AREA WITHIN UNIT
  - (Circle with E) EXHAUST FAN W/ 5 AIR CHANGES PER HOUR, ENERGY STAR & HUMIDISTAT CONTROLLED
  - (Arrow) DIRECTION OF DRAINAGE SLOPE @ 1/4" PER FOOT
  - (Circle with 2) DROPPED GYP. BOARD SOFFIT 14" , SEE (2/A6.1) 7'-10" CEILING HEIGHT BELOW



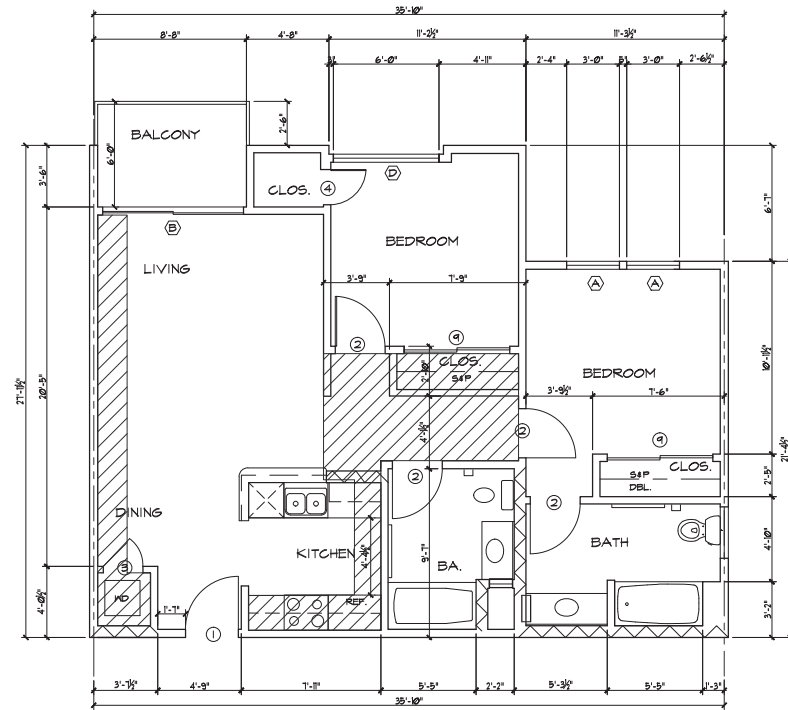
**UNIT C FLOOR PLAN**  
SCALE 1/4"=1'-0" 913 S.F.



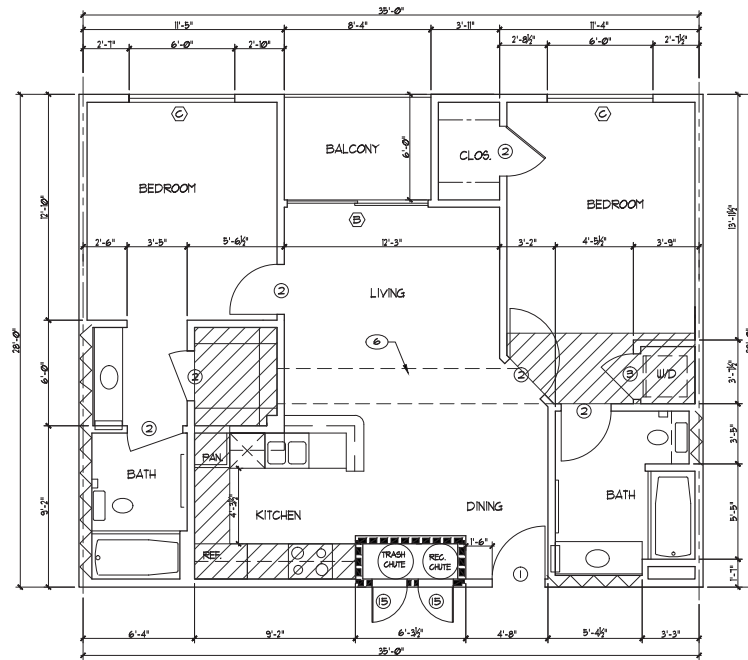
**UNIT B5 FLOOR PLAN**  
SCALE 1/4"=1'-0" 949 S.F.



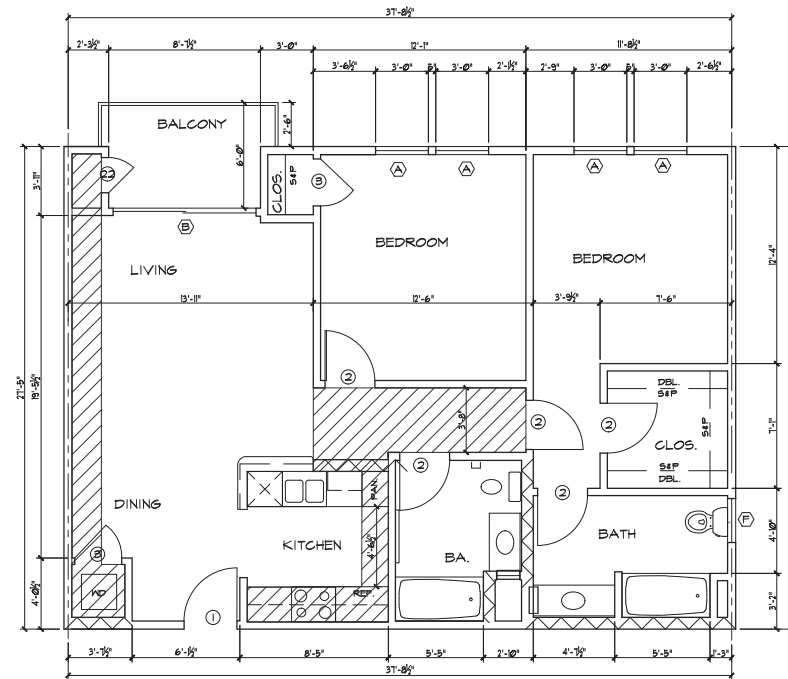
**UNIT G FLOOR PLAN**  
SCALE 1/4"=1'-0" 921 S.F.



**UNIT C - REV FLOOR PLAN**  
SCALE 1/4"=1'-0" 901 S.F.



**UNIT F FLOOR PLAN**  
SCALE 1/4"=1'-0" 911 S.F.



**UNIT D FLOOR PLAN**  
SCALE 1/4"=1'-0" 1,009 S.F.

**SEPULVEDA SQUARE APTS.**  
5700 SEPULVEDA BLVD, LOS ANGELES, CA 91411






ALAN S. BOWEN, A.I.A.  
Architecture - Planning  
21066 Colina Drive  
Topanga, Ca., 90290  
(310) 455-1834

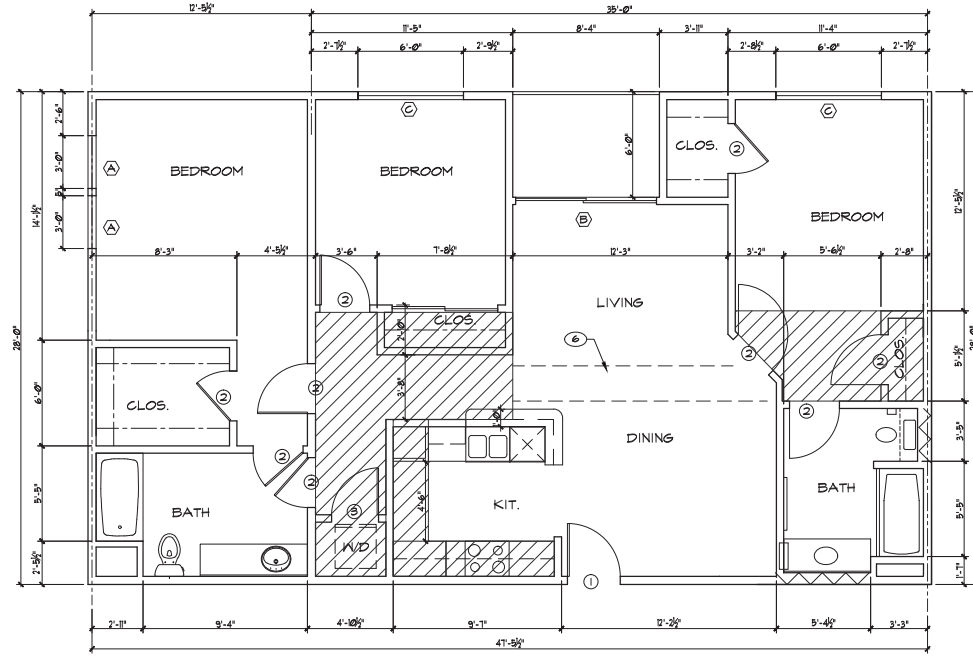
PROGRESS SET  
Nov. 12, 2013

**KEYNOTES**

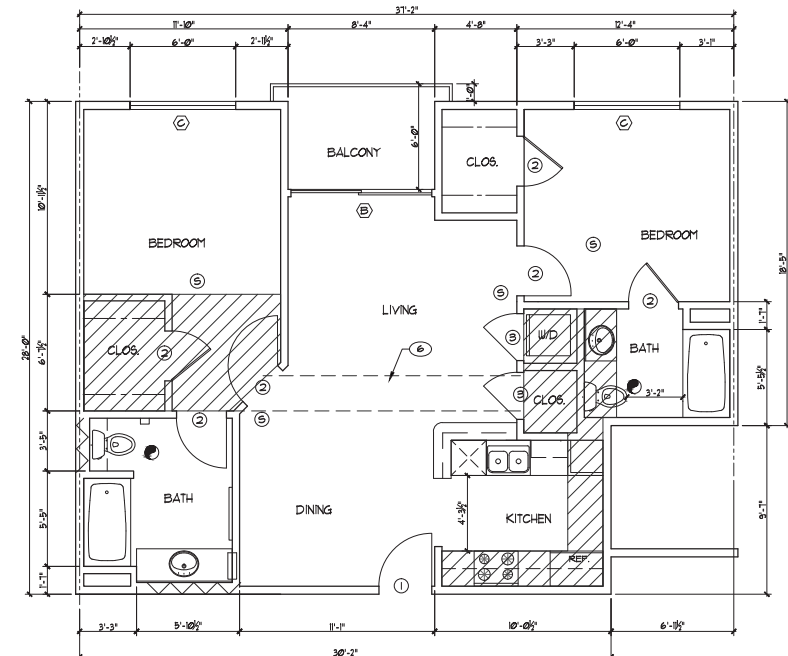
- 1 BUILT-IN DISHWASHER (ENERGY STAR RATED)
- 2 TYPICAL KITCHEN BASE CABINET & OVERHEAD CABINETS PER (A6.1) PROVIDE GRANITE COUNTERTOPS
- 3 30" WIDE DOUBLE BOWL SINK (PER FLOW RATES SHOWN ON GRN 16 / A1.B) w/ GARBAGE DISPOSAL (ENERGY STAR RATED)
- 4 GAS RANGE/OVEN (ENERGY STAR RATED) WITH EXTERIOR VENTING EXHAUST FAN AND MICROWAVE ABOVE
- 5 PROVIDE 2 - 15" WIDE PULL OUT BREAD BOARDS (ONE @ EA. SIDE STOVE)
- 6 DUCTS TO RUN IN CEILING BETWEEN 2 FLUSH BEAMS
- 7 FACE FRAMED CABINETRY DOORS WITH 5 BUILT-IN SHELVES
- 8 TOILET (PER FLOW RATES SHOWN ON GRN 16 / A1.B) w/ BUILT-IN LINEN OVER HEAD (BOTTOM @ 60 AFF)
- 9 BATHTUB (PER FLOW RATES SHOWN ON GRN 16 / A1.B) w/ SHOWER CURTAIN ROD; PROVIDE H/C BLOCKING PER NOTES ON INTERIOR ELEVATIONS
- 10 16" X 20" RECESSED MEDICINE CABINET w/ MIRROR DOOR
- 11 PLATE GLASS MIRROR-FULL HEIGHT, FOR WIDTH SEE INTERIOR ELEVATIONS
- 12 TOILET PAPER HOLDER
- 13 TOWEL BAR
- 14 DRYER EXHAUST & BATHROOM EXHAUST TO RUN IN JOIST BAY OR SOFFIT AS NECESSARY. PROVIDE 5" DIA. DRYER EXHAUST WITH ACCESS PANEL
- 15 5'-0" DIAMETER TURNING CIRCLE, DOOR SWINGS CAN INTRUDE NO MORE THAN 12"
- 17 PROVIDE BLOCKING FOR END MOUNTED GRAB BAR PER (A6.1)
- 18 LAVATORY, (PER FLOW RATES SHOWN ON GRN 16 / A1.B) SEE DETAIL (A6.1)
- 19 RONY WALL SEE DETAIL (A6.1) ALL KITCHEN RONY WALLS MUST BE w/ SERVE OVER CTR.
- 20 PROVIDE BLOCKING WITH IN WALL FOR INSTALLATION OF H/C GRAB BARS PER DETAIL (A6.1)

**LEGEND**

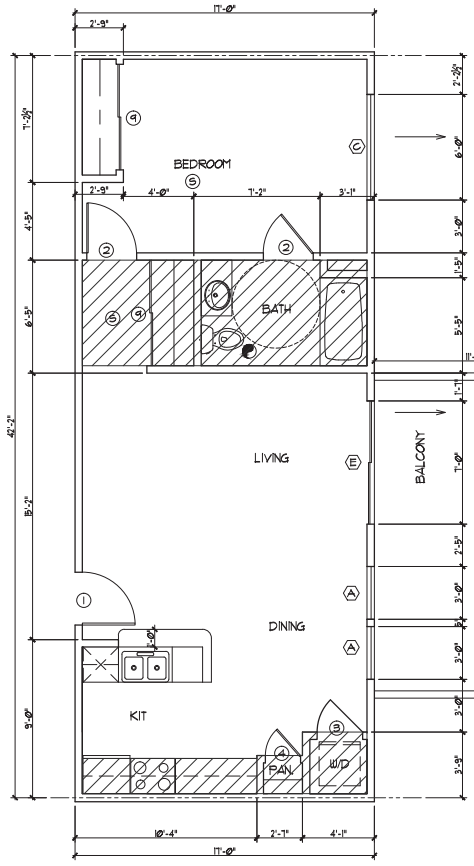
-  DOUBLE 2x4 MULL
-  HARDWIRED SMOKE DETECTOR @ CEILING ABOVE ALARM SHALL BE AUDIBLE IN ALL SLEEPING AREA WITHIN UNIT
-  EXHAUST FAN w/ 5 AIR CHANGES PER HOUR, ENERGY STAR & HUMIDISTAT CONTROLLED
-  DIRECTION OF DRAINAGE SLOPE @ 1/4" PER FOOT
-  DROPPED GYP. BOARD SOFFIT 14", SEE (A6.1) T-10" CEILING HEIGHT BELOW



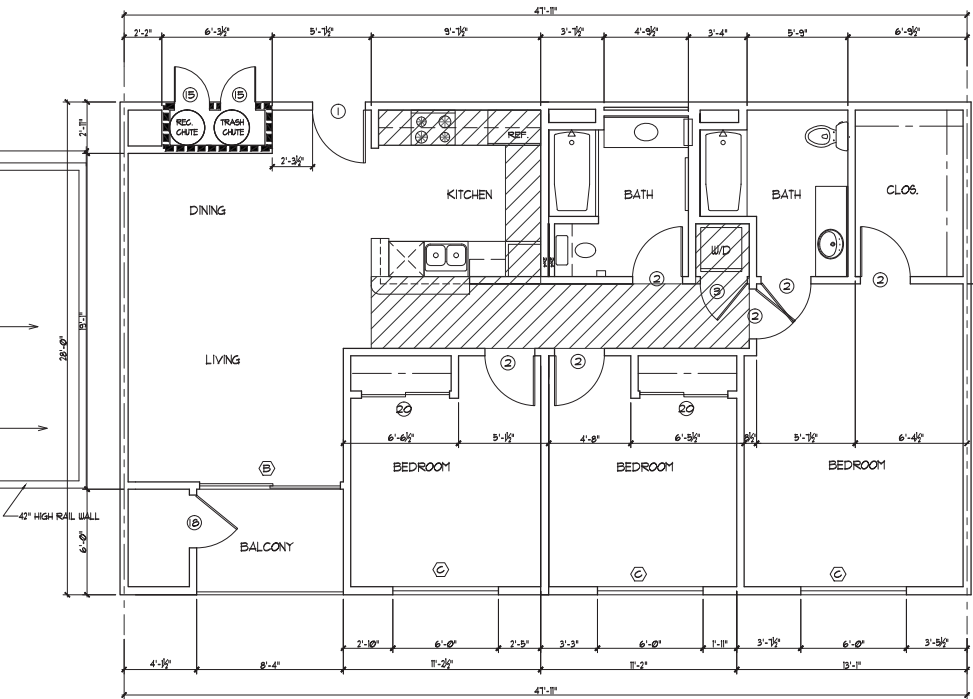
**UNIT H FLOOR PLAN**  
SCALE 1/4"=1'-0" 1,279 S.F.



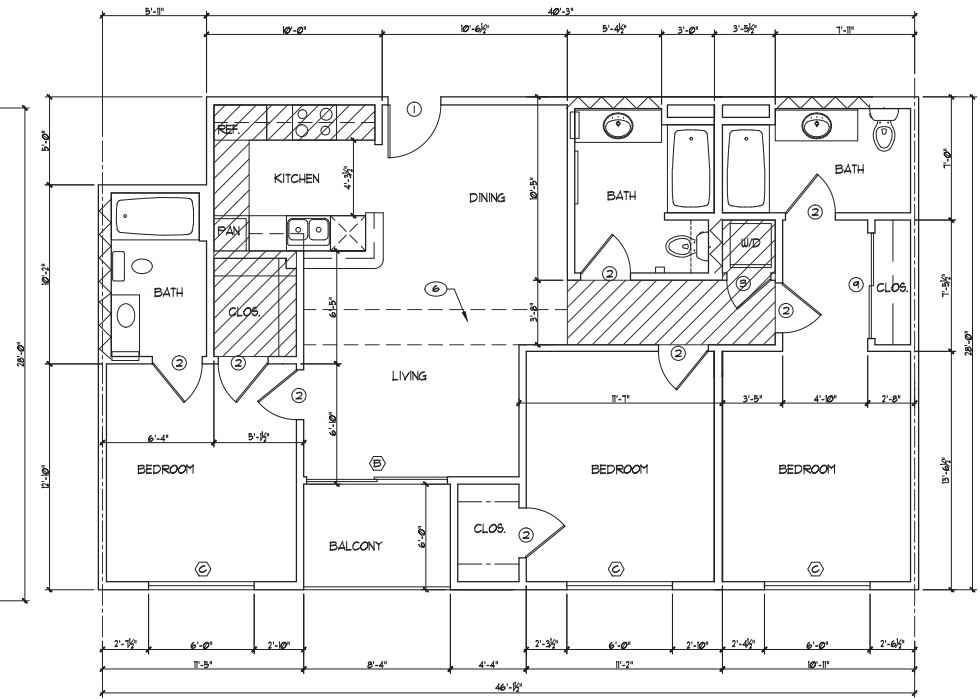
**UNIT L FLOOR PLAN**  
SCALE 1/4"=1'-0" 924 S.F.



**UNIT E FLOOR PLAN**  
SCALE 1/4"=1'-0" 1,111 S.F.



**UNIT K FLOOR PLAN**  
SCALE 1/4"=1'-0" 1,212 S.F.



**UNIT J FLOOR PLAN**  
SCALE 1/4"=1'-0" 1,218 S.F.